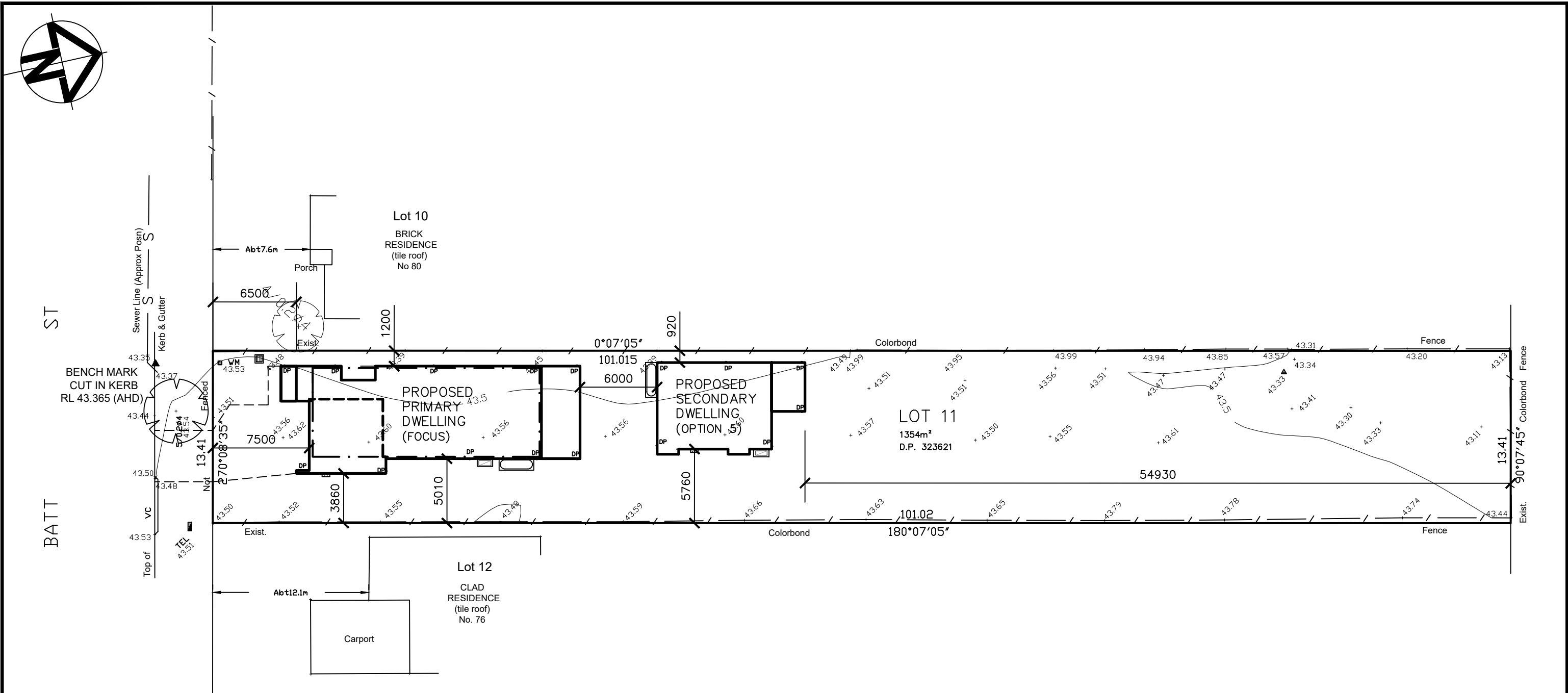




SITE / LOCALITY PLAN

SCALE : 1:300

NOTE:
CONSTRUCTION TO BE
COMPLETED IN ACCORDANCE
WITH BCA 2022



SITE CLASSIFICATION
"P/H1"

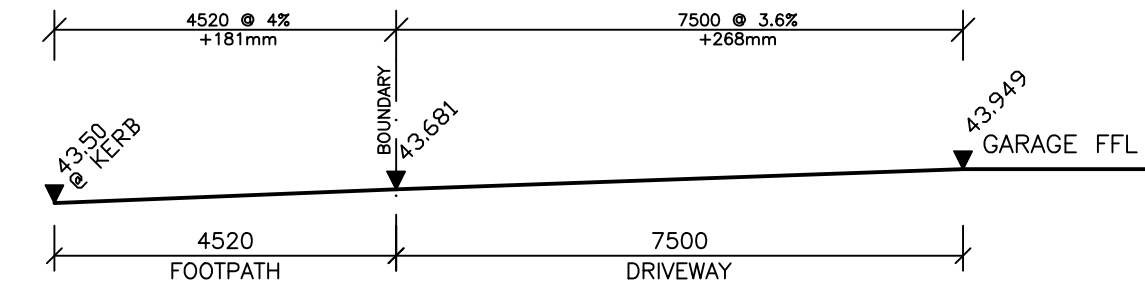
20MPa CONCRETE TO
PIERS

NOTES:

- * AS REQUIRED, ALL RETAINING & SURFACE DRAINAGE WORK TO BE COMPLETED BY OWNER TO COUNCIL SPECIFICATIONS.
- * STORMWATER DISCHARGE TO TANK VIA CHARGED LINES WITH OVERFLOW TO STREET IN ACCORDANCE STORMWATER MANAGEMENT PLAN
- * FIXED INDOOR AND OUTDOOR CLOTHES LINE TO BE PROVIDED, POSITIONED AND INSTALLED BY OWNER
- * NO TREES TO BE REMOVED

LEGEND

- EXISTING TREES TO REMAIN
- EXISTING TREES TO BE REMOVED BY OTHERS



DRIVEWAY PROFILE

SCALE 1:100

AS2890.1-2004



ALLWORTH CONSTRUCTIONS PTY LTD

9A/9-11 SOUTH STREET, RYDALMERE NSW 2116
ABN 78 002 565 353 LIC No. 34459 PH: 1300 769 988

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PROPOSED BRICK VENEER RESIDENCE
FOR: MR A. KARDIASMENOS
AT: LOT11(No.78) BATT STREET, SEFTON
COUNCIL: CANTERBURY-BANKSTOWN

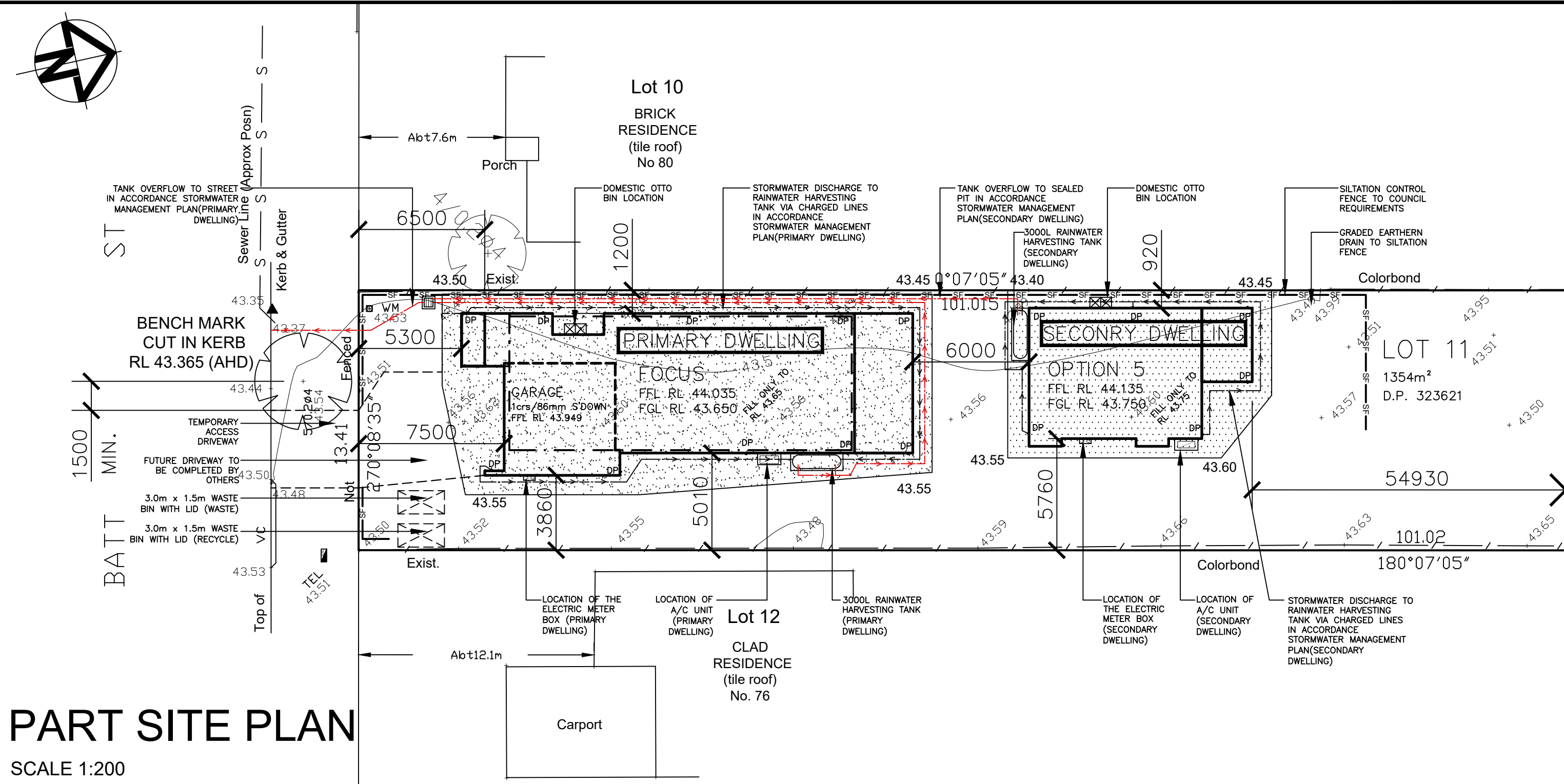
S1/10

DRAWN: MK
JOB No.: 15630
SCALE: 1:300

HOUSE DESIGN
FOCUS
FIVE GUEST 29 ZERO
+ GRANNY FLAT(TYPE 5)
CLASSIC RH

Issue	By	Date	Notes
A	MK	15.05.26	FIRST ISSUE
B	DO	23.06.26	COUNCIL ISSUE
C	MK	24.06.26	UPDATE PLAN AS PER STROMWATER PLAN

ISSUE
C



PART SITE PLAN

SCALE 1:200

NOTE:
CONSTRUCTION TO BE COMPLETED IN ACCORDANCE WITH BCA 2022

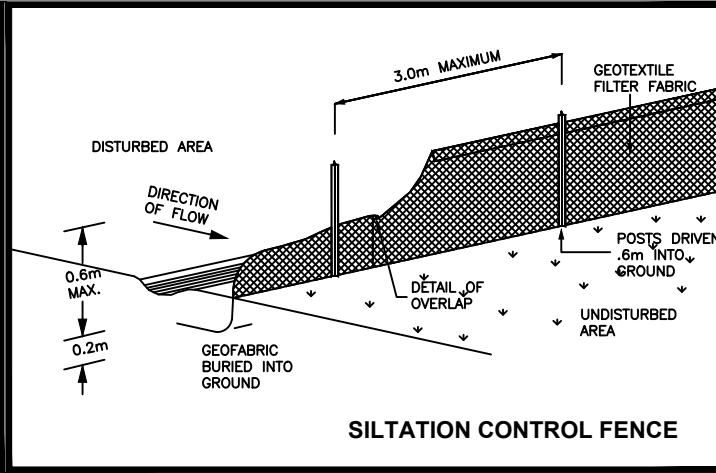
BEFORE YOU DIG
www.byda.com.au
Zero Damage - Zero Harm

SITE CLASSIFICATION
"P/H1"

- NOTES:**
- * AS REQUIRED, ALL RETAINING & SURFACE DRAINAGE WORK TO BE COMPLETED BY OWNER TO COUNCIL SPECIFICATIONS.
 - * STORMWATER DISCHARGE TO TANK VIA CHARGED LINES WITH OVERFLOW TO STREET IN ACCORDANCE STORMWATER MANAGEMENT PLAN
 - * FIXED INDOOR AND OUTDOOR CLOTHES LINE TO BE PROVIDED, POSITIONED AND INSTALLED BY OWNER
 - * NO TREES TO BE REMOVED

LEGEND (AS PER STORMWATER MANAGEMENT PLAN)		
	600x600 GRATED INLET PIT	 - EXISTING TREES TO REMAIN - EXISTING TREES TO BE REMOVED BY OTHERS
	450x450 SILT APRESTOR PIT	
	SURFACE DRAIN	
	200W x 150D GRATED DRAIN BY OTHER	
	CHARGED RAINWATER PIPE	20MPa CONCRETE TO PIERS
	STORMWATER PIPE	

KEY		
ET : Electric Turret		LIN : Lintel
LP : Light Pole		KO : Kerb Outlet
PP : Power Pole		SIP : Sewer Insp Point
GM : Gas Meter		SMS : Sewer Maint. Shaft
HYD : Hydrant		SMH : Sewer Manhole
SV : Stop Valve		TEL : Telecom Pit
WC : Water Connection		PC : Pram Crossing
WM : Water Meter		VC : Vehicle Crossing
SWP : Stormwater Pit		DH&W: Drillhole & Wing



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PROPOSED BRICK VENEER RESIDENCE
FOR: MR A. KARDIASMENOS
AT: LOT11(No.78) BATT STREET, SEFTON
COUNCIL: CANTERBURY-BANKSTOWN

S2/10

DRAWN: MK
JOB No.: 15630
SCALE: 1:200

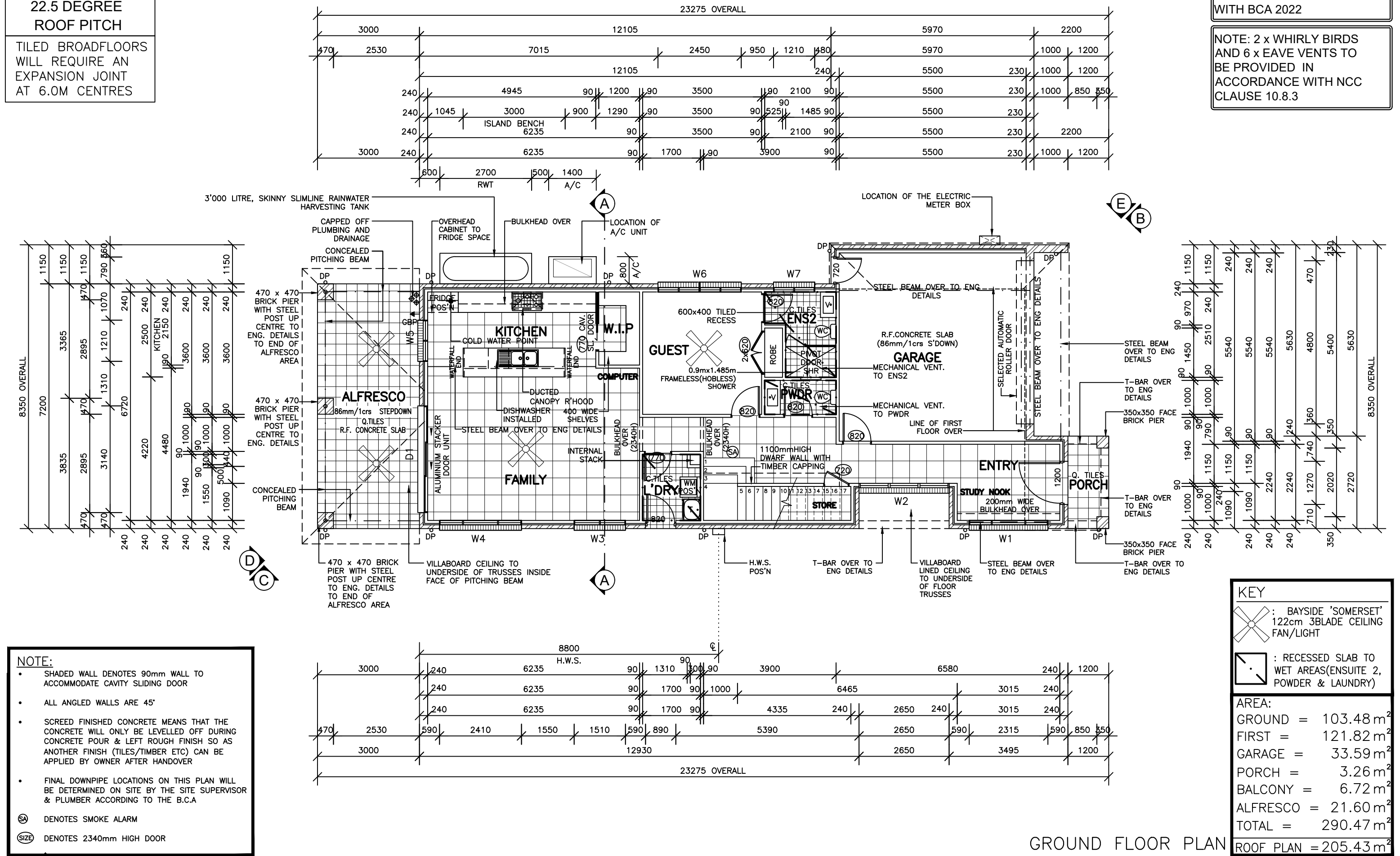
HOUSE DESIGN
FOCUS
FIVE GUEST 29 ZERO
+ GRANNY FLAT(TYPE 5)
CLASSIC RH

Issue	By	Date	Notes
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ISSUE
C

TILED BROADFLOORS
 WILL REQUIRE AN
 EXPANSION JOINT
 AT 6.0M CENTRES

NOTE: 2 x WHIRLY BIRDS
AND 6 x EAVE VENTS TO
BE PROVIDED IN
ACCORDANCE WITH NCC
CLAUSE 10.8.3

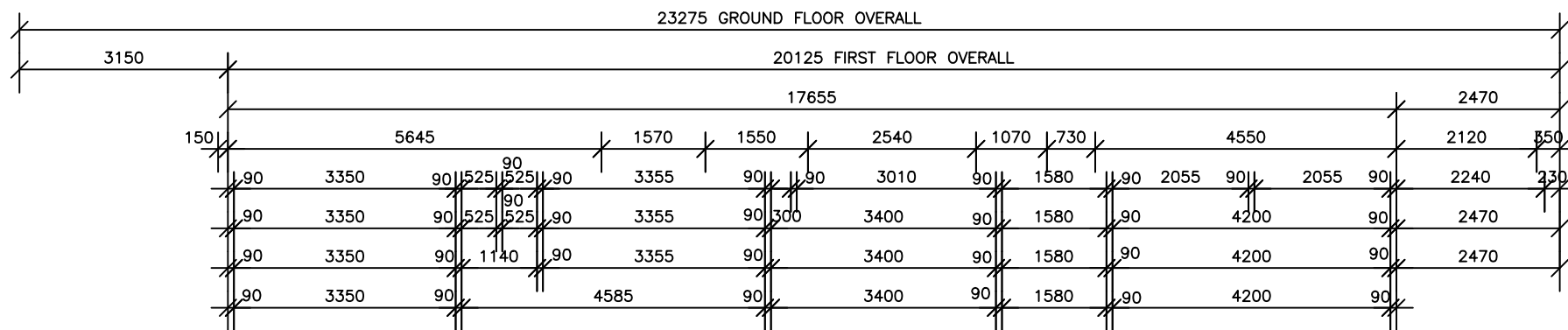


GROUND FLOOR PLAN

ROOF PLAN = 205.43 m²

22.5 DEGREE
ROOF PITCH

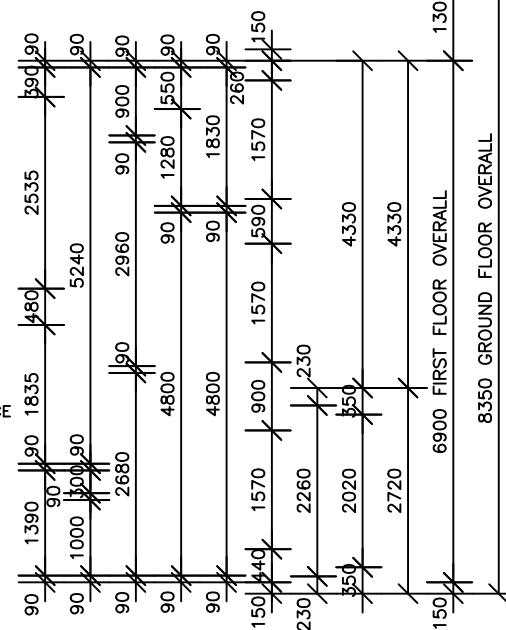
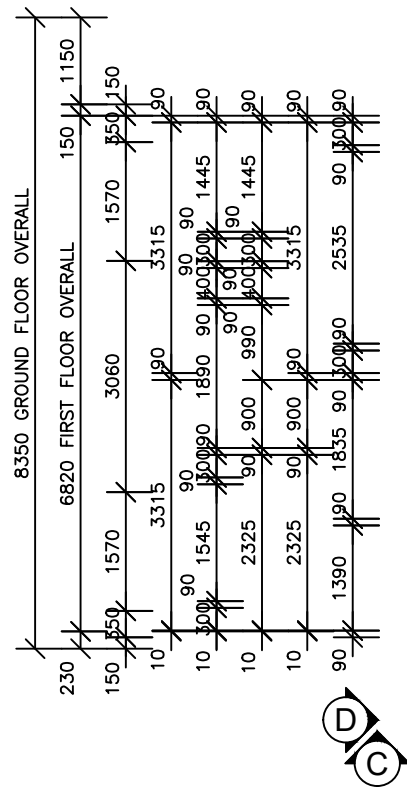
NOTE: 2 x WHIRLY BIRDS
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ACCORDANCE WITH NCC
CLAUSE 10.8.3



APPROX. LOCATION OF 6.65kW PV SOLAR SYSTEM PANELS(1 OF 14 PANELS -PANEL POWER & NO's TO BE CONFIRMED WITH P&N ROGERS)

APPROX. LOCATION OF 6.65kW PV SOLAR SYSTEM PANELS(2 OF 14 PANELS -PANEL POWER & NO's TO BE CONFIRMED WITH P&N ROGERS)

APPROX. LOCATION OF 6.65kW PV SOLAR SYSTEM PANELS(11 OF 14 PANELS -PANEL POWER & NO's TO BE CONFIRMED WITH P&N ROGERS)



- SHADED WALL DENOTES 90mm WALL TO ACCOMMODATE CAVITY SLIDING DOOR
- ALL ANGLED WALLS ARE 45°
- SCREED FINISHED CONCRETE MEANS THAT THE CONCRETE WILL ONLY BE LEVELLED OFF DURING CONCRETE POUR & LEFT ROUGH FINISH SO AS ANOTHER FINISH (TILES/TIMBER ETC) CAN BE APPLIED BY OWNER AFTER HANDOVER
- FINAL DOWNPIPE LOCATIONS ON THIS PLAN WILL BE DETERMINED ON SITE BY THE SITE SUPERVISOR & PLUMBER ACCORDING TO THE B.C.A



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ABN 78 002 565 353 LIC No. 34459 PH: 1300 769 988

FOR: MR A. KARDIASMENOS
AT: LOT11(No.78) BATT STREET, SEFTON
COUNCIL: CANTERBURY-BANKSTOWN

DRAWN: MK
JOB No.: 15630
SCALE: 1:100

FOCUS
FIVE GUEST 29 ZERO
+ GRANNY FLAT(TYPE 5)
CLASSIC RH

C

FIRST FLOOR PLAN

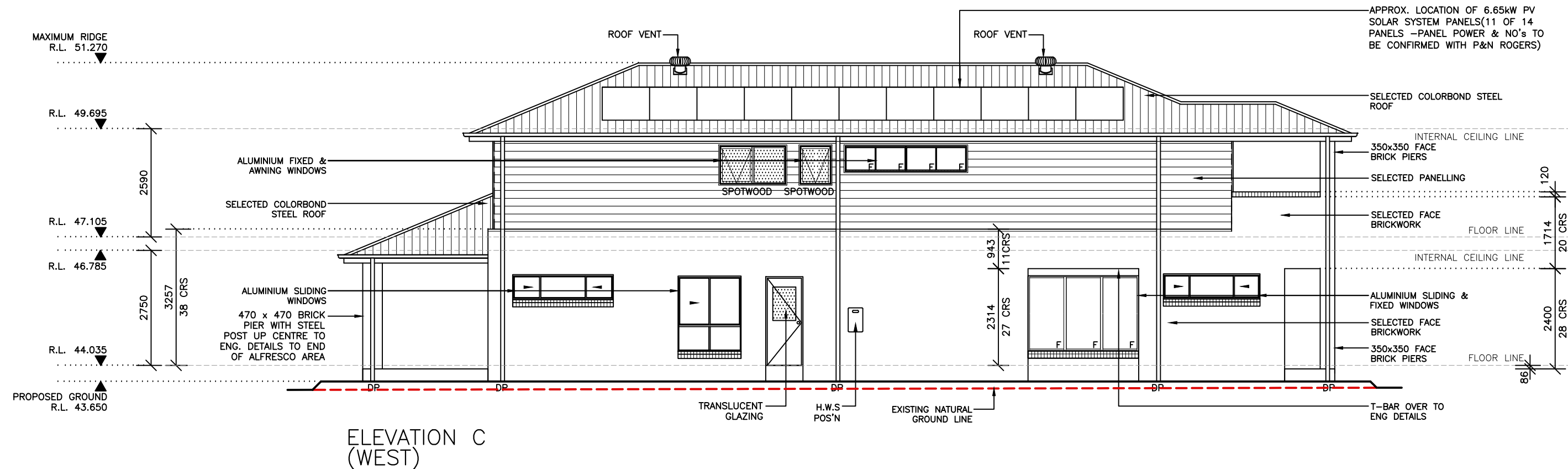
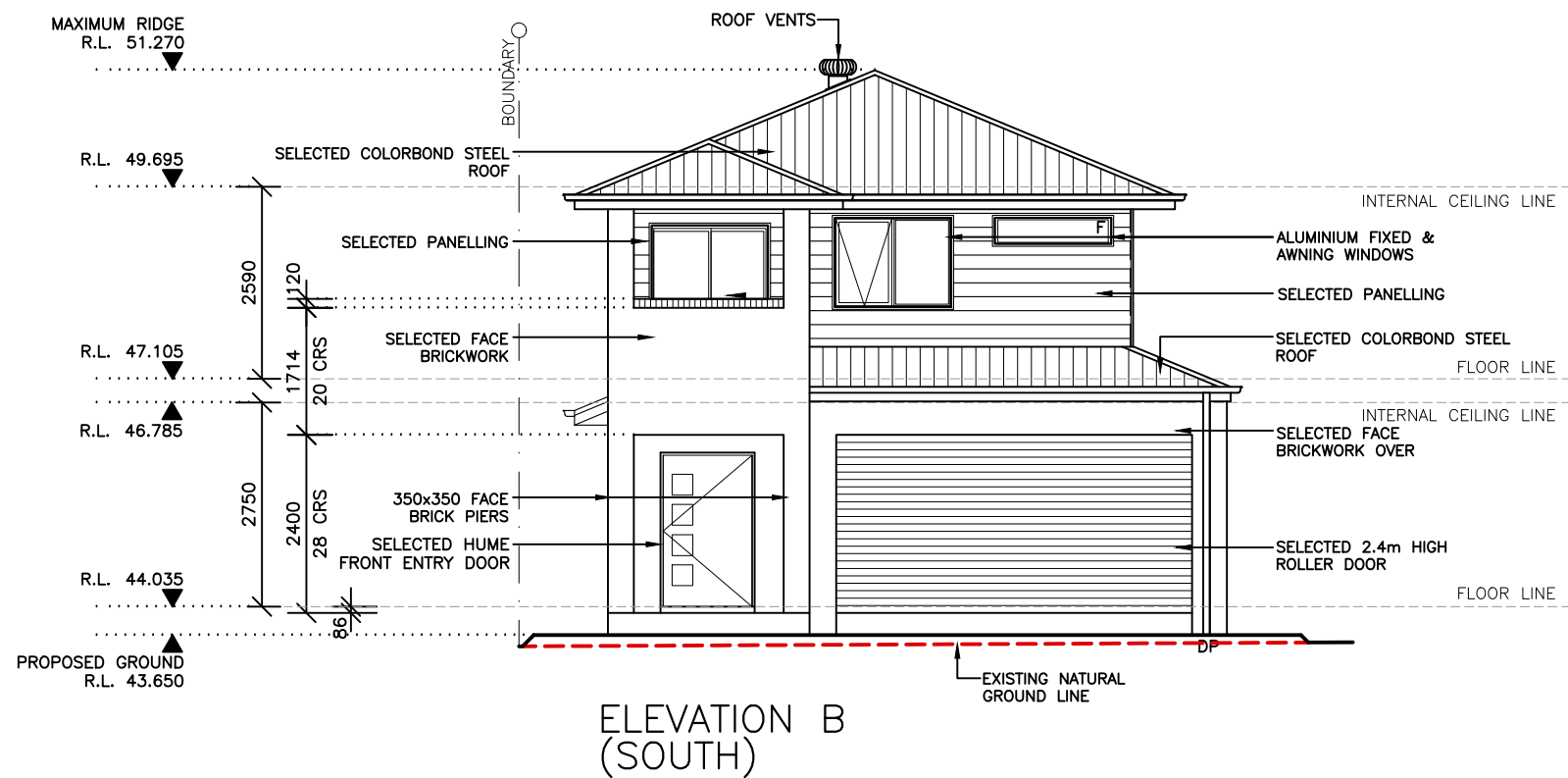
 : BAYSIDE 'SOMERSET'
122cm 3BLADE CEILING
FAN/LIGHT

600mm EAVE /
GUTTER OVERHANG

22.5 DEGREE
ROOF PITCH

NOTE:
CONSTRUCTION TO BE
COMPLETED IN ACCORDANCE
WITH BCA 2022

NOTE: 2 x WHIRLY BIRDS
AND 6 x EAVE VENTS TO
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PROPOSED BRICK VENEER RESIDENCE
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COUNCIL: CANTERBURY-BANKSTOWN

S5/10
DRAWN: MK
JOB No.: 15630
SCALE: 1:100

HOUSE DESIGN
FOCUS
FIVE GUEST 29 ZERO
+ GRANNY FLAT(TYPE 5)
CLASSIC RH

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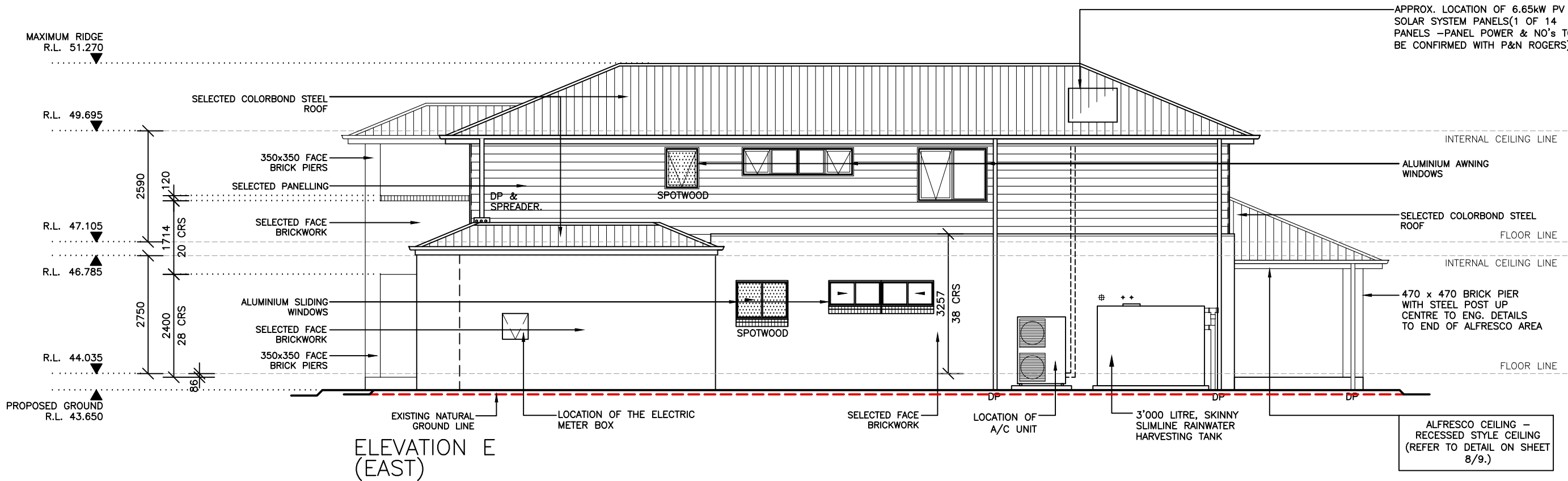
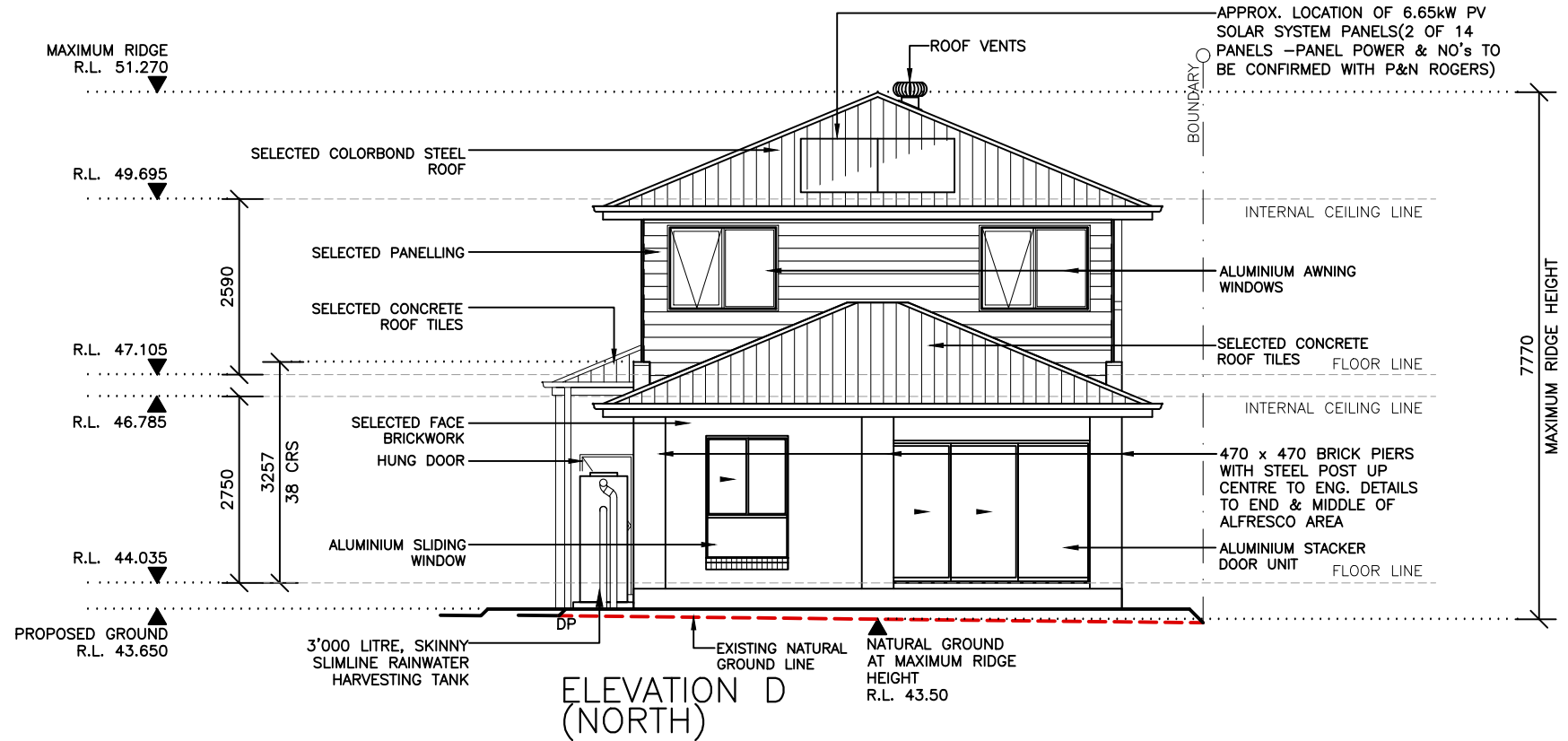
ISSUE
C

600mm EAVE /
GUTTER OVERHANG

22.5 DEGREE
ROOF PITCH

NOTE:
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NOTE: 2 x WHIRLY BIRDS
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PROPOSED BRICK VENEER RESIDENCE
FOR: MR A. KARDIASMENOS
AT: LOT11(No.78) BATT STREET, SEFTON
COUNCIL: CANTERBURY-BANKSTOWN

S6/10
DRAWN: MK
JOB No.: 15630
SCALE: 1:100

HOUSE DESIGN
FOCUS
FIVE GUEST 29 ZERO
+ GRANNY FLAT(TYPE 5)
CLASSIC RH

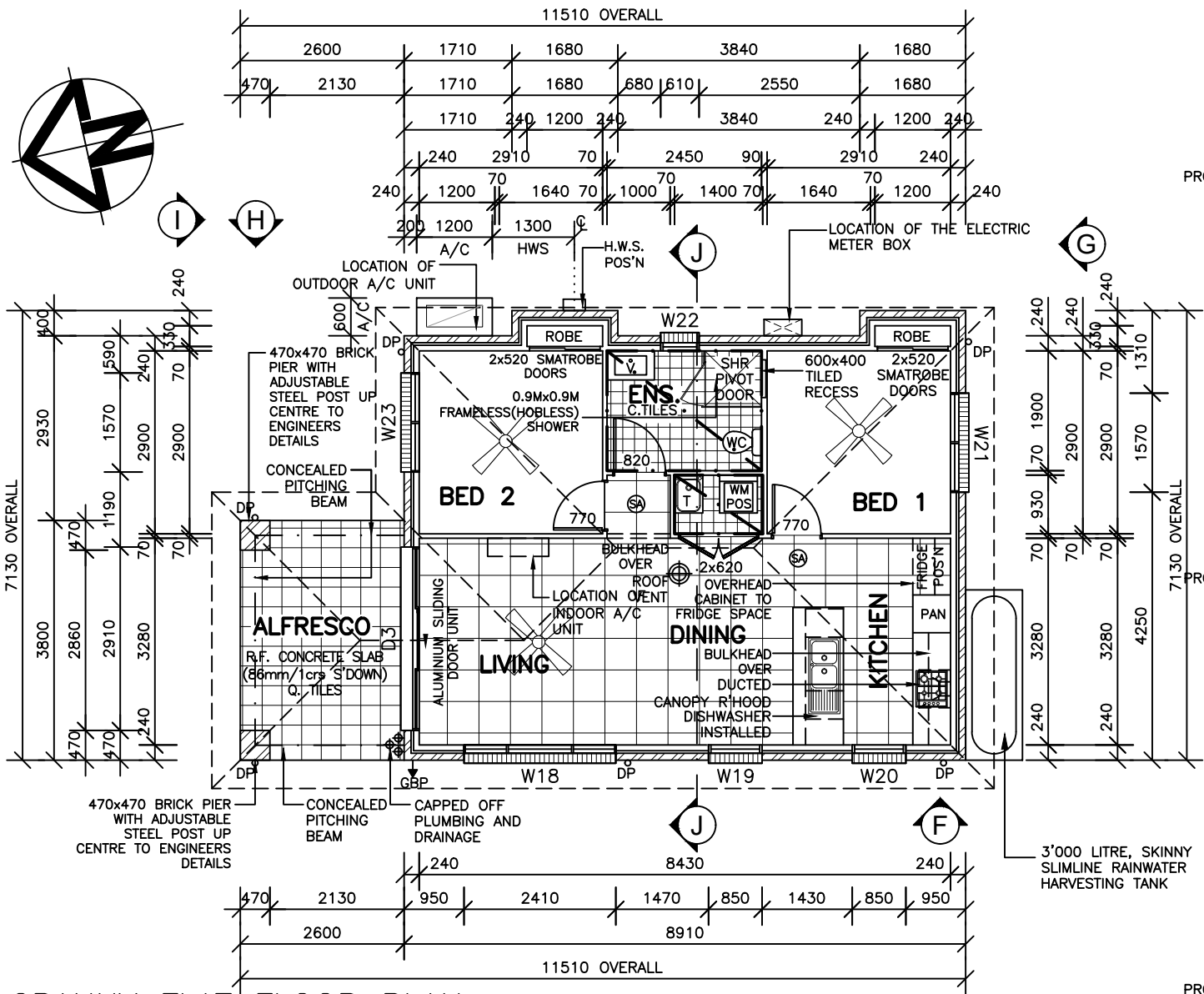
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ISSUE
C

600mm EAVE /
GUTTER OVERHANG

22.5 DEGREE
ROOF PITCH

TILED BROADFLOORS
WILL REQUIRE AN
EXPANSION JOINT
AT 6.0M CENTRES



GRANNY FLAT FLOOR PLAN
TYPE 5: 2 BEDROOM

- NOTE:**
- SHADED WALL DENOTES 90mm WALL TO ACCOMMODATE CAVITY SLIDING DOOR
 - ALL ANGLED WALLS ARE 45°
 - SCREED FINISHED CONCRETE MEANS THAT THE CONCRETE WILL ONLY BE LEVELLED OFF DURING CONCRETE POUR & LEFT ROUGH FINISH SO AS ANOTHER FINISH (TILES/TIMBER ETC) CAN BE APPLIED BY OWNER AFTER HANDOVER
 - FINAL DOWNPIPE LOCATIONS ON THIS PLAN WILL BE DETERMINED ON SITE BY THE SITE SUPERVISOR & PLUMBER ACCORDING TO THE B.C.A
- SA DENOTES SMOKE ALARM
SIZE DENOTES 2340mm HIGH DOOR

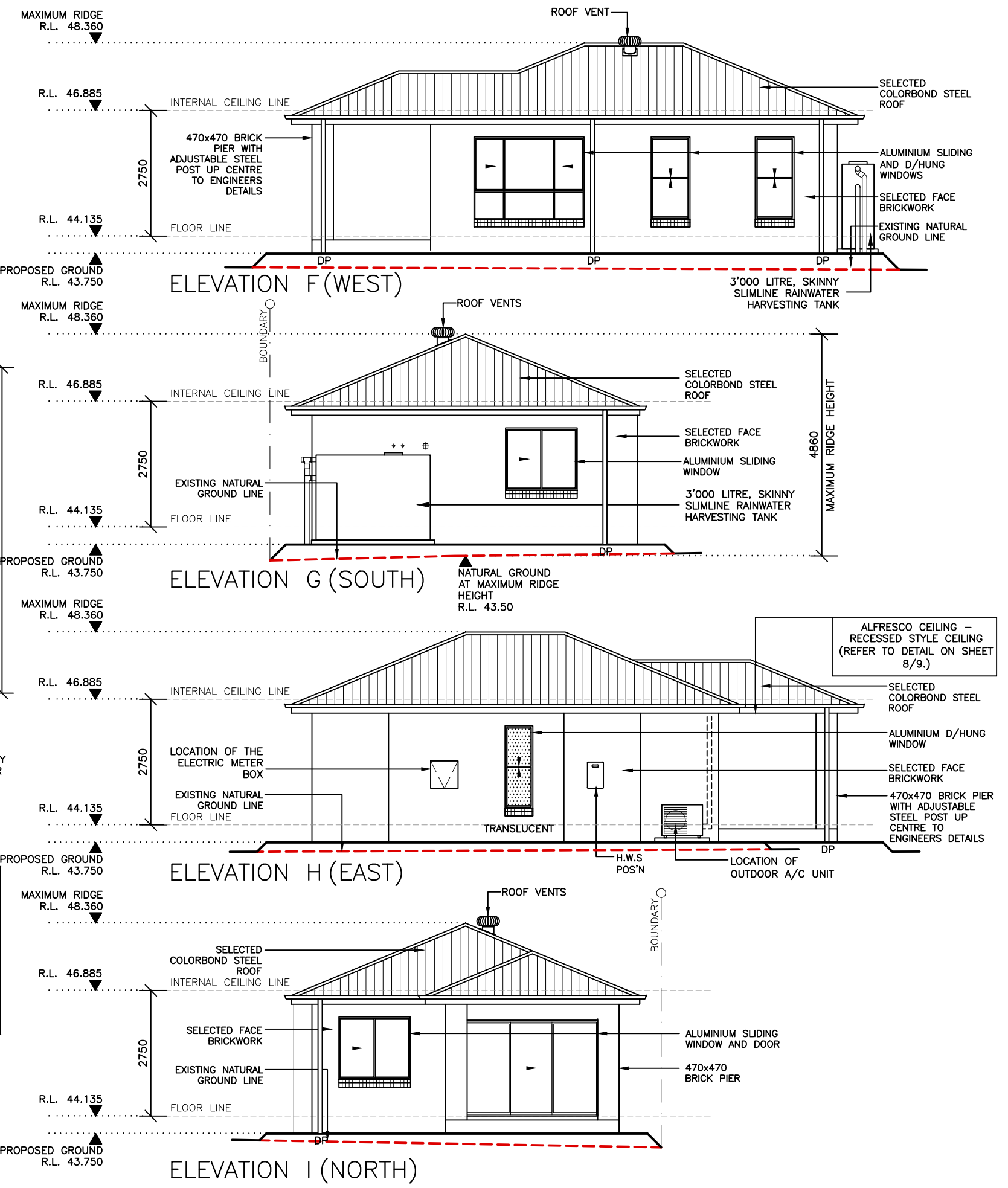
NOTE:
CONSTRUCTION TO BE COMPLETED IN ACCORDANCE WITH BCA 2022

NOTE: 1 x WHIRLY BIRDS AND 6 x EAVE VENTS TO BE PROVIDED IN ACCORDANCE WITH NCC CLAUSE 10.8.3

AREA:
LIVING = (included ext. wall) 61.31m²
(excluded ext. wall) 53.65m²
PORCH = 9.88m²
TOTAL = 69.84m²
ROOF PLAN = 87.07m²

KEY

- BAYSIDE 'SOMERSET' 122cm 3BLADE CEILING FAN/LIGHT
- RECESSED SLAB TO WET AREAS(ENSUITE & LAUNDRY)



22.5 DEGREE
ROOF PITCH

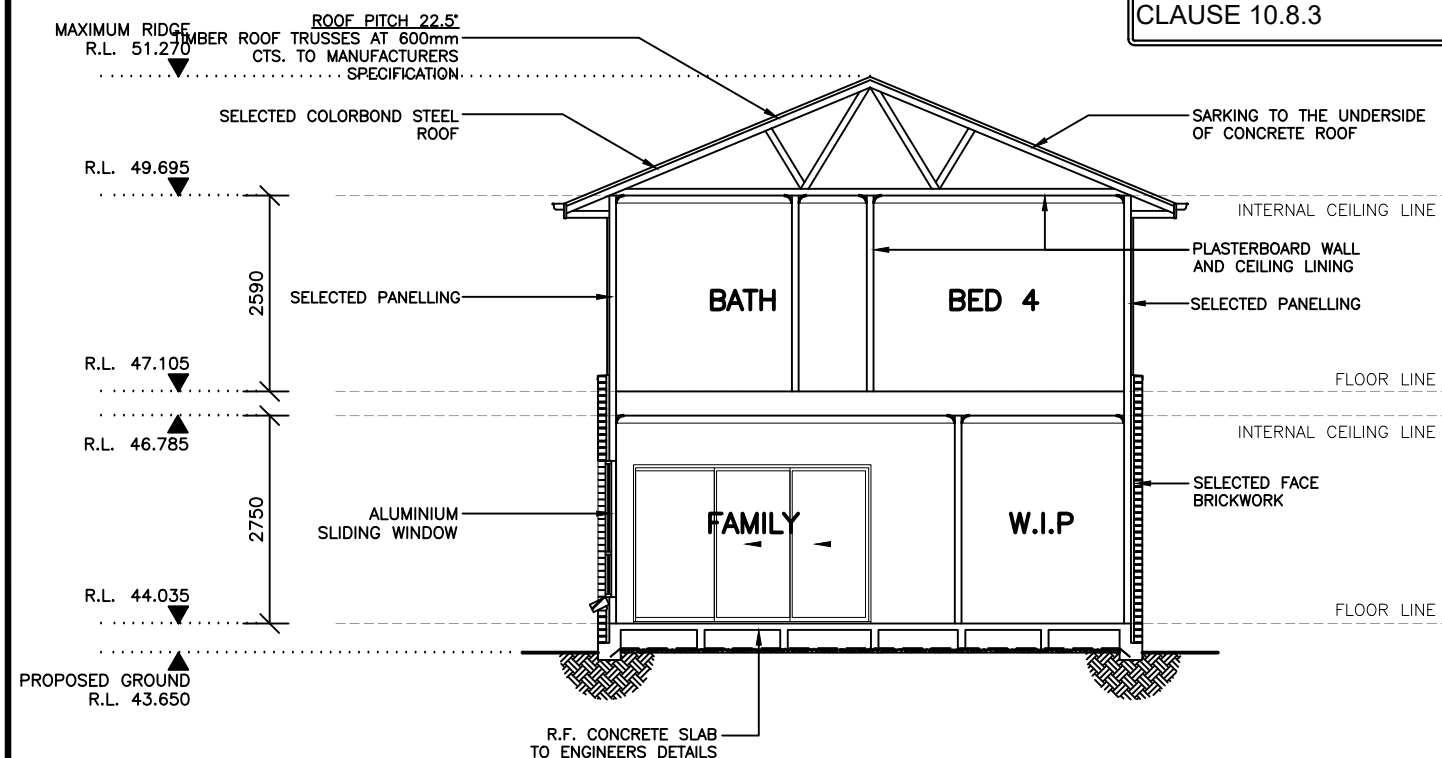
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CLAUSE 10.8.3

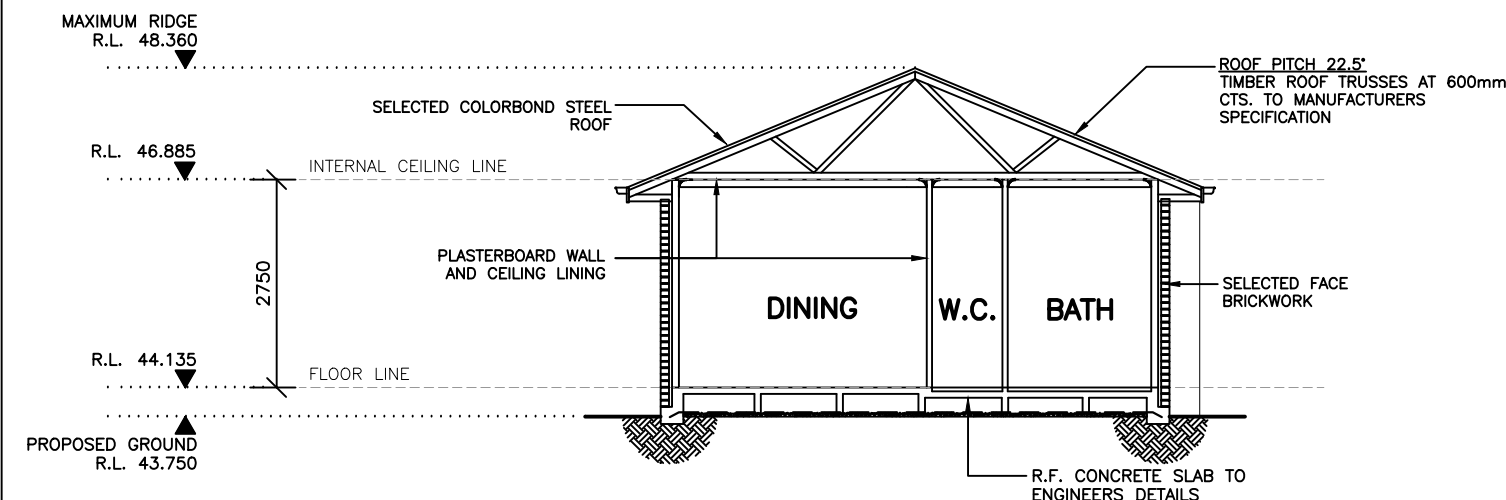
22.5 DEGREE
ROOF PITCH

NOTE:
CONSTRUCTION TO BE
COMPLETED IN ACCORDANCE
WITH BCA 2022

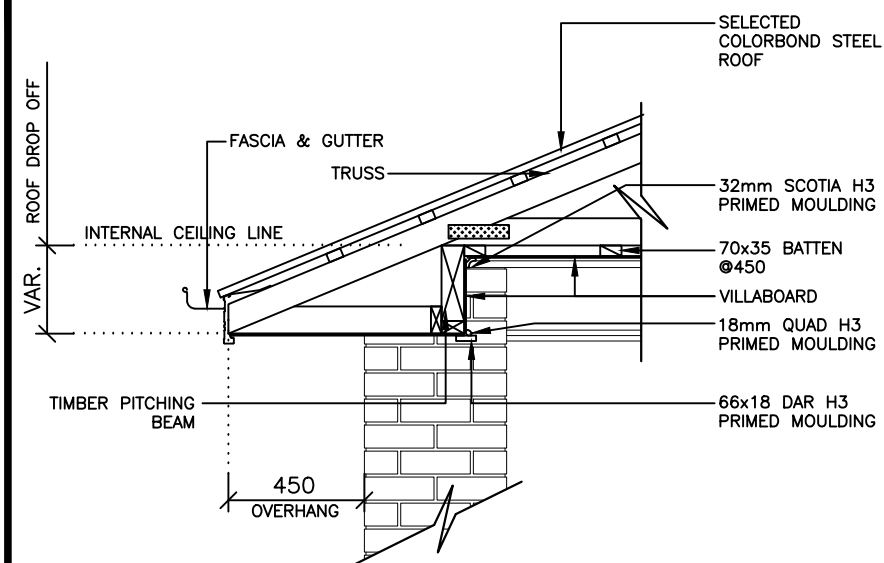
NOTE: 1 x WHIRLY BIRDS
AND 6 x EAVE VENTS TO
BE PROVIDED IN
ACCORDANCE WITH NCC
CLAUSE 10.8.3



SCALE 1:100



SCALE 1:100



450mm ALFRESCO CEILING DETAIL

SCALE 1:25

BASIX COMMITMENTS(PRIMARY)

STORMWATER
SHOWERHEADS
TOILETS
TAP FITTINGS

- ACTIVE COOLING
- ACTIVE HEATING
- HOT WATER
- LIGHTING
- COOKING
- DESIGN ENHANCEMENTS

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3000 LITRE RAINWATER TANK
3 STAR RATED SHOWER HEADS
4 STAR RATED CISTERNS
4 STAR RATED BATHROOM TAPWARE,
4 STAR RATED KITCHEN TAPWARE
EER3.0-3.5 AIR COND.
EER3.0-3.5 AIR COND.
5.5 STAR GAS INSTANTANEOUS H.W.S.
WINDOWS TO BATHS & KITCHEN
GAS COOKTOP/ ELECTRIC OVEN
2 WIND DRIVEN ROOF VENTILATORS
6.65kW PHOTOVOLTAIC SOLAR PANEL SYSTEM
INDOOR/OUTDOOR CLOTHESLINE (BY OWNER)
LED LIGHTING AS SPECIFIED
SEALS AND DRAUGHT TO EXTERNAL DOOR JAMES
BRADFORD R2.5 RATED BATTS TO EXTERNAL WALLS OF
RESIDENCE(EXCLUDING GARAGE)
BRADFORD R6.0 RATED BATTS TO LIVING AREA CEILING

BASIX COMMITMENTS(SECONDARY)

STORMWATER
SHOWERHEADS
TOILETS
TAP FITTINGS

ACTIVE COOLING
ACTIVE HEATING
HOT WATER
LIGHTING
COOKING
DESIGN ENHANCEMENTS

3000 LITRE RAINWATER TANK
3 STAR RATED SHOWER HEADS
4 STAR RATED CISTERNS
4 STAR RATED BATHROOM TAPWARE,
4 STAR RATED KITCHEN TAPWARE
EER3.0-3.5 AIR COND.
EER3.0-3.5 AIR COND.
5.5 STAR GAS INSTANTANEOUS H.W.S.
WINDOWS TO BATHS & KITCHEN
GAS COOKTOP/ ELECTRIC OVEN
1 WIND DRIVEN ROOF VENTILATORS
INDOOR/OUTDOOR CLOTHESLINE (BY OWNER)
LED LIGHTING AS SPECIFIED
SEALS AND DRAUGHT TO EXTERNAL DOOR JAMES
BRADFORD R2.5 RATED BATTS TO EXTERNAL WALLS OF
RESIDENCE
BRADFORD R6.0 RATED BATTS TO LIVING AREA CEILING



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PROPOSED BRICK VENEER RESIDENCE

FOR: MR A. KARDIASMENOS
AT: LOT11(No.78) BATT STREET, SEFTON
COUNCIL: CANTERBURY-BANKSTOWN

S8/10

DRAWN: MK
JOB No.: 15630
SCALE: 1:100

HOUSE DESIGN

FOCUS
FIVE GUEST 29 ZERO
+ GRANNY FLAT(TYPE 5)
CLASSIC RH

Issue	By	Date	Notes
A	MK	15.05.26	FIRST ISSUE
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ISSUE

C

WINDOW SCHEDULE STEGBAR					
1. STANDARD ALUMINIUM FRAME WINDOW WITH CLEAR GLASS (GROUP A AND GROUP B) 2. GLAZED ASSEMBLIES COMPLY WITH AS2047 & 1288					
PRIMARY DWELLING					
NO	LOCN	MODEL	TYPE		
W-1	ENTRY	ASW06x2315(SP)	SLIDING		
W-2	ENTRY HALL	AFW1826	FIXED		
W-3	FAMILY	ASW18x1510T(SP)	SLIDING	TRANSOM	
W-4	FAMILY	ASW0624	SLIDING		
W-5	KITCHEN	ASW1812T	SLIDING	TRANSOM	
W-6	GUEST	ASW06x1225(SP)+ASW06x1225(FS)(SP) (180° COUPLED)	SLIDING		
W-7	ENS 2	ASW0912	SLIDING	SPOTWOOD	
W-8	W.I.R.	AFW350x1570(SP)	FIXED	90mm FRAME REVEAL	
W-9	BED 1	AAW1215(AF)	AWNING		
W-10	STAIRS	AFW06x1450+AFW06x1450 (180° COUPLED)	FIXED		
W-11	W.C.	AAW0907	AWNING		SPOTWOOD
W-12	BATH	AAW0915	AWNING		SPOTWOOD
W-13	BED 2	AAW1215	AWNING		
W-14	BED 3	AAW1215	AWNING		
W-15	BED 4	AAW1215	AWNING		
W-16	ACTIVITIES	AAW06x1270(AF)(SP)+AAW06x1270(FA)(FS)(SP) (180° COUPLED)	AWNING		
W-17	ENSUITE	AAW0907	AWNING		SPOTWOOD
D-1	FAMILY	AST21x3140(XXF)(SP) ALUMINIUM STACKER DOOR / REVEALS TOP & SIDES			
D-2	BED 1	ASD2115(R) ALUMINIUM SLIDING DOOR /REVEALS TOP AND SIDES (90mm FRAME REVEAL)			
SECONDARY DWELLING					
NO	LOCN	MODEL	TYPE		
W-18	LIVING	ASW1824T	SLIDING	TRANSOM	
W-19	DINING	ADW1808	D/HUNG		
W-20	KITCHEN	ADW1808	D/HUNG		
W-21	BED 1	ASW1315	SLIDING	TRANSOM	
W-22	ENSUITE	ADW1806	D/HUNG	SPOTWOOD	
W-23	BED 2	ASW1315	SLIDING		
D-3	LIVING	ASD21X2910(L)(SP) ALUMINIUM SLIDING DOOR /REVEALS TOP AND SIDES			

PROMOTIONS

1. ADVANTAGE PROMOTION
- * 3.0KW PHOTOVOLTAIC (PV) SOLAR PANEL SYSTEM INCLUDING 3.0KW SINGLE PHASE INVERTER TO ROOF.
 - * 2.59M HIGH CEILINGS (GROUND FLOOR ONLY ON TWO STOREY DESIGNS).
 - * TWO (2) X WINDMASTER ROOF VENTILATORS INCLUDING SIX (6) EAVE VENTS TO ROOF.
 - * TREATED PINE TIMBER FRAME AND ROOF TRUSSES.
 - * SARKING TO UNDERSIDE OF ROOF.
 - * FLYSCREENS (FIBREMESH) TO ALL EXTERNAL WINDOWS (EXCLUDES HUNG AND SLIDING EXTERNAL DOORS).
 - * AUTOMATIC GARAGE DOOR OPENER.
 - * TWO STOREY DESIGN – FLOOR TILES TO GROUND FLOOR (EXCLUDING ALFRESCO) WITH CARPET TO BALANCE INCLUDING STAIRS.
 - * DULUX WASH & WEAR MATT THREE (3) COAT PAINT SYSTEM TO INTERNAL WALLS.
 - * BTICINO 'EASY CONNECT' VIDEO ENTRY DOOR INTERCOM SYSTEM.
 - * BOSCH SOLUTIONS 2000 SECURITY ALARM SYSTEM.
 - * GAINSBOROUGH DOUBLE CYLINDER 'TRILOCK' FRONT ENTRY DOOR FURNITURE (ANGULAR '8901' MODEL).
 - * HUME 66MM X 18MM SINGLE BEVEL SKIRTING AND ARCHITRAVES.
 - * PROVIDE WHITE MELAMINE SHELVING TO ALL ROBES, WALK-IN PANTRY, LINEN AND BROOM IN LIEU OF STANDARD (WHERE APPLICABLE).
 - * SCREED FINISH CONCRETE FLOOR TO ALFRESCO.
 - * INCREASE KITCHEN SPLASHBACK TO UNDERSIDE OF BULKHEAD.
 - * DOUBLE GPDS THROUGHOUT.
 - * 20MM 'CAESARSTONE' MINERAL (CRYSTALLINE SILICA FREE) BENCHTOPS TO KITCHEN IN LIEU OF STANDARD (EXCLUDING WATERFALL ENDS).
 - * BULKHEADS TO KITCHEN OVERHEAD CABINETS.
 - * OVERHEAD CABINET TO FRIDGE SPACE.
 - * OMEGA 'OCG905WXCOM' (900MM) GAS COOKTOP.
 - * OMEGA 'OBO9010AMCOM' (900MM) ELECTRIC UNDERBENCH OVEN.
 - * OMEGA 'ORW9XL' (900MM) DUCTED CANOPY RANGEHOOD.
 - * OMEGA 'ODWF6015XCOM' DISHWASHER INSTALLED.
 - * OMEGA 'OM30X' STAINLESS STEEL MICROWAVE.
 - * RHEEM 'METRO MAX' 26 LITRE CONTINUOUS FLOW HOT WATER SYSTEM (EXCLUDING DELUXE CONTROLLERS).
 - * \$20,000 TO SPEND ON 'ASPIRE' PROMOTIONAL ITEMS AND / OR INTERNAL SELECTION UPGRADES.

CLIENT VARIATIONS

1. GAS H.W.S, GAS COOKTOP, GAS HEATING POINT, AND ELECTRIC OVEN, INCLUDING STANDARD GAS CONNECTION FEES (TO PRIMARY DWELLING)
2. PROVIDE A RINNAI 20.5KW THREE PHASE INVERTER REVERSE CYCLE DUCTED AIR-CONDITIONING SYSTEM (TO PRIMARY DWELLING) (SUBJECT TO AMPLE AIR ASSESSMENT)
3. UPGRADE METER BOX TO PRIMARY DWELLING TO ACCOMMODATE THREE PHASE POWER (OWNER TO ENSURE THREE PHASE POWER IS AVAILABLE TO THE ALLOTMENT)
4. PROVIDE 2700MM HIGH CEILINGS IN LIEU OF 2590MM HIGH CEILINGS TO THE GROUND FLOOR ONLY (PRIMARY DWELLING)
5. PROVIDE 2590MM HIGH CEILINGS IN LIEU OF 2400MM HIGH CEILINGS TO THE FIRST FLOOR ONLY (PRIMARY DWELLING)
6. PROVIDE 2340MM HIGH INTERNAL DOORS AND OPENINGS THROUGHOUT IN LIEU OF STANDARD (PRIMARY DWELLING)
7. PROVIDE POT DRAWERS (X2 BANKS) TO KITCHEN CABINETRY IN LIEU OF STANDARD (PRIMARY DWELLING)
8. PROVIDE SOFT CLOSE DOORS AND DRAWERS TO KITCHEN CABINETRY (PRIMARY DWELLING)
9. PROVIDE A COLD WATER POINT TO FRIDGE SPACE (PRIMARY DWELLING)
10. PROVIDE 20MM 'CAESARSTONE' MINERAL (CRYSTALLINE SILICA FREE) WATERFALL ENDS (X2) TO KITCHEN BENCHTOP IN LIEU OF STANDARD (WHERE APPLICABLE ON DESIGN) (PRIMARY DWELLING)
11. PROVIDE A PRIMECOAT CAVITY SLIDING DOOR TO WALK-IN PANTRY IN LIEU OF HUNG DOOR (PRIMARY DWELLING)
12. PROVIDE SOFT CLOSE DOORS TO GROUND FLOOR POWDER ROOM, BATHROOM, BEDROOM 1 ENSUITE AND GUEST ENSUITE VANITIES IN LIEU OF STANDARD (PRIMARY DWELLING)
13. PROVIDE A 600MM X 400MM TILED RECESS TO BATHROOM, BEDROOM 1 ENSUITE AND GUEST ENSUITE SHOWERS (PRIMARY DWELLING)
14. PROVIDE A CLIPSAL (CEF 40WKWE) DUCTED EXHAUST FAN TO BATHROOM, BEDROOM 1 ENSUITE AND GUEST ENSUITE (PRIMARY DWELLING)
15. PROVIDE RECESSED CONCRETE SLAB TO LAUNDRY, GUEST ENSUITE AND GROUND FLOOR POWDER ROOM (PRIMARY DWELLING)
(NOTE: LEVEL FLOOR TRANSITIONS BETWEEN ROOMS ARE SUBJECT TO FLOORING SELECTIONS)
16. INCREASE WALL TILING TO CEILING HEIGHT IN BATHROOM, BEDROOM 1 ENSUITE AND GUEST ENSUITE (PRIMARY DWELLING)
17. EXTEND PRIMARY DWELLING FRONT ENTRY DOOR WIDTH TO BE APPROX. 1200MM WIDE IN LIEU OF STANDARD ENTRY DOOR AND SIDELIGHTS
18. PROVIDE THIRTY (30) FIXED WHITE LED DOWNLIGHTS IN LIEU OF STANDARD (PRIMARY DWELLING)
19. PROVIDE FOUR (4) BAYSIDE 'SOMERSET' 122CM 3 BLADE CEILING FAN/LIGHTS IN WHITE IN LIEU OF STANDARD LIGHT POINT (POSITION TWO (2) TO THE ALFRESCO, ONE (1) TO FAMILY AND ONE (1) TO GUEST ROOM) (PRIMARY DWELLING)
20. PROVIDE AN UPGRADE TO A SOLAR PHOTOVOLTAIC (PV) 6.65KW SYSTEM (14 PANELS) WITH 'GOODWE' 5.0KW EH PLUS SERIES SINGLE-PHASE HYBRID INVERTER (EXCLUDES BATTERY)
21. CONVERT ALL FIRST FLOOR SLIDING WINDOWS TO BE AWNING WINDOWS TO PRIMARY DWELLING
22. PROVIDE FLOOR TILES (UP TO 500MM X 500MM IN SIZE) TO ALFRESCO AREA, EXCLUDING ANY ADDITIONAL EXTENSIONS (PRODUCTS SELECTED FROM WITHIN STANDARD BUILDERS RANGE) (PRIMARY

- DWELLING)
23. PROVIDE AN OPTIONAL GRAND ALFRESCO, 3.1M X 3.0M, TO PRIMARY DWELLING
24. PROVIDE FLOOR TILES (UP TO 500MM X 500MM IN SIZE) TO OPTIONAL GRAND ALFRESCO AREA (3.1M X 3.0M) (PRODUCTS SELECTED FROM WITHIN STANDARD BUILDERS RANGE) (PRIMARY DWELLING)
25. PROVIDE AN EXTERNAL GAS POINT TO THE ALFRESCO AREA (PRIMARY DWELLING)
26. PROVIDE AN EXTERNAL CAPPED OFF HOT/COLD WATER POINT WITH DRAINAGE POINT TO THE ALFRESCO AREA (PRIMARY DWELLING)
27. PROVIDE 'TYPE 5' DETACHED GRANNY FLAT (CONFIGURED AS PER SKETCH) LOCATED 6.0M FROM REAR OF PRIMARY DWELLING (AS PER SURVEY).
NOTE: GRANNY FLAT TO INCLUDE SEPARATE ELECTRICAL AND GAS METERING AND SEPARATE COMMUNICATIONS CONDUIT. (ONE (1) WATER METER PROVIDED TO PRIMARY DWELLING WITH ONE (1) FLOW METER TO SERVICE DETACHED GRANNY FLAT).
PROVIDE A RHEEM 'METRO MAX' 26 LITRE CONTINUOUS FLOW GAS H.W.S. TO SERVICE THE GRANNY FLAT, AN OMEGA 'OBO605MCOM' ELECTRIC OVEN, AN OMEGA 'OCG604WXCOM' GAS COOKTOP AND AN OMEGA 'ORW6XL' RANGEHOOD INCLUDING LAMINEX / FORMICA OR POLYTEC SHEEN FINISH TO KITCHEN CABINETS AND BATHROOM VANITY
28. PROVIDE A GAS LINE EXTENSION TO DETACHED GRANNY FLAT.
PROVIDE SEPARATE METERING FOR GAS SERVICE TO PRIMARY DWELLING AND GRANNY FLAT
29. PROVIDE 2700MM HIGH CEILINGS IN LIEU OF 2590MM HIGH CEILINGS TO GRANNY FLAT
30. PROVIDE RECESSED CONCRETE SLAB TO GRANNY FLAT BATHROOM AND LAUNDRY (NOTE: LEVEL FLOOR TRANSITIONS BETWEEN ROOMS ARE SUBJECT TO FLOORING SELECTIONS)
31. PROVIDE A RINNAI 'HSNRP50' 5.0KW HIGH WALL SPLIT AIR-CONDITIONING SYSTEM TO GRANNY FLAT
32. PROVIDE FIFTEEN (15) FIXED WHITE LED DOWNLIGHTS IN LIEU OF STANDARD TO GRANNY FLAT
33. PROVIDE TWO (2) BAYSIDE 'SOMERSET' 122CM 3 BLADE CEILING FAN/LIGHTS IN WHITE IN LIEU OF STANDARD LIGHT POINT TO GRANNY FLAT BEDROOMS (TWO (2) IN TOTAL)
34. PROVIDE SOFT CLOSE DOORS AND DRAWERS TO GRANNY FLAT KITCHEN CABINETRY
35. PROVIDE AN OMEGA 'ODWF4510X' DISHWASHER TO GRANNY FLAT (EXCLUDING ANY ADDITIONAL CABINETRY UPGRADES)
36. PROVIDE A 600MM X 400MM TILED RECESS TO GRANNY FLAT BATHROOM SHOWER
37. INCREASE WALL TILING TO CEILING HEIGHT IN GRANNY FLAT BATHROOM
38. PROVIDE APPROX. 1200MM WIDE ROBES TO GRANNY FLAT BEDROOMS WITH SLIDING DOORS (TWO (2) IN TOTAL)
39. PROVIDE AN OPTIONAL ALFRESCO TO GRANNY FLAT (AS PER SKETCH)
40. PROVIDE AN EXTERNAL CAPPED OFF HOT/COLD WATER POINT WITH DRAINAGE POINT TO THE GRANNY FLAT ALFRESCO AREA
41. PROVIDE AN EXTERNAL GAS POINT TO THE GRANNY FLAT ALFRESCO AREA
42. PROVIDE FLOOR TILES (UP TO 500MM X 500MM IN SIZE) TO GRANNY FLAT ALFRESCO AREA, EXCLUDING ANY ADDITIONAL EXTENSIONS (PRODUCTS SELECTED FROM WITHIN STANDARD BUILDERS RANGE)
43. PROVIDE A PROVISIONAL ALLOWANCE FOR FUTURE ELECTRICAL UPGRADES
44. PROVIDE A PROVISIONAL ALLOWANCE FOR FUTURE CABINETRY UPGRADES
45. NOTE: NO ALLOWANCE HAS BEEN MADE FOR COUNCIL SECTION 94 AND 94A CONTRIBUTIONS IN THIS QUOTATION. OWNER TO CONFIRM SECTION 94 AND 94A CONTRIBUTIONS WITH COUNCIL AND IS RESPONSIBLE FOR ALL ASSOCIATED FEES AND CHARGES IN ACCORDANCE WITH COUNCIL REQUIREMENTS
46. NOTE: ALLWORTH 'ADVANTAGE' PROMOTION INCLUDED TO BOTH PRIMARY DWELLING AND GRANNY FLAT (EXCLUDING PV SOLAR PANEL SYSTEM, ANY ADDITIONAL OR UPGRADED APPLIANCES AND NO FURTHER ALLOWANCE FOR SPEND ON INTERNAL UPGRADES TO GRANNY FLAT)
47. PROVIDE A COLORBOND ROOF OPTION INCLUDED
48. INCREASE ALLWORTH 'ADVANTAGE' PROMOTION TO A TOTAL OF \$20,000 SPEND ON 'ASPIRE' ITEMS AND / OR INTERNAL UPGRADES.
49. PROVIDE A NINE (9) MONTH PRICE LOCK OPTION
50. PROVIDE EXTERNALLY DUCTED EXHAUST FAN ON A "RUN TIMER" TO POWDER ROOM IN PRIMARY DWELLING
51. PROVIDE 820MM ENTRANCE DOOR TO POWDER ROOM IN PRIMARY DWELLING INCLUDING AN 18MM GAP BETWEEN BOTTOM OF DOOR AND FLOOR (18MM GAP REQUIRED TO COMPLY WITH NCC REQUIREMENTS)
52. ALL EXHAUST FANS TO BE DUCTED EXTERNALLY TO COMPLY WITH NCC REQUIREMENTS
53. NOTE: REDUCE INSULATION THICKNESS TO PERIMETER OF HOME TO ENSURE A MINIMUM 20MM DISTANCE MAINTAINED BETWEEN INSULATION AND ROOF SARKING
54. RAISE THE PRIMARY HOUSE BY 100mm AND 200mm TO GRANNY FLAT IN LIEU OF PREVIOUSLY QUOTED 'FFL. RL43.86'.
55. DELETE MACHINE HIRE FROM STANDARD SITE COSTS
56. PROVIDE A PROVISIONAL ALLOWANCE FOR MACHINE HIRE & SITE PREPARATION.
57. DELETE ITEM #6 FROM ADDITIONAL SITE COSTS (50TON ADDITIONAL FILL)
58. PROVIDE ADDITIONAL FILL 150 TONNES.
- *** VARIATIONS CONTINUED ON SHEET 10/10 ***



ALLWORTH CONSTRUCTIONS PTY LTD

9A/9-11 SOUTH STREET, RYDALMERE NSW 2116
ABN 78 002 565 353 LIC No. 34459 PH: 1300 769 988

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PROPOSED BRICK VENEER RESIDENCE

FOR: MR A. KARDIASMENOS
AT: LOT11(No.78) BATT STREET, SEFTON
COUNCIL: CANTERBURY-BANKSTOWN

S9/10

DRAWN: MK
JOB No.: 15630
SCALE: NTS

HOUSE DESIGN

FOCUS
FIVE GUEST 29 ZERO
+ GRANNY FLAT(TYPE 5)
CLASSIC RH

Issue By Date Notes

A	MK	15.05.26	FIRST ISSUE
B	DO	23.06.26	COUNCIL ISSUE
C	MK	24.06.26	UPDATE PLAN AS PER STROMWATER PLAN

ISSUE

C

CLIENT VARIATIONS CONTINUED

59. RELOCATE W13 & W14 TO THE REAR OF THE EXTERNAL WALL
60. PROVIDE GARAGE FLOOR TO ONE STEP NOT TWO
61. PROVIDE FRAMELESS(HOBLESS) SHOWER TO GUEST ENSUITE
62. PROVIDE (NOGGINGS OR PLY SHEETING) TO POWDER ROOM AND GUEST ENSUITE
63. PROVIDE 820MM HINGE DOORS, TO GUEST ROOM AND GUEST ENSUITE
64. MIRROR REVERSE W/C AND VANITY TO GUEST ENSUITE
(NOT AVAILABLE DUE TO INSUFFICIENT SPACE)
65. PROVIDE A FRAMELESS(HOBLESS) SHOWER TO GRANNY FLAT
66. PROVIDE (NOGGINGS OR PLY SHEETING) TO GRANNY FLAT TOILET
67. RELOCATE ROBES TO GRANNY FLAT TO UNDER EAVE
68. RELOCATE GRANNY FLAT BEDROOM 1 WINDOW TO THE EXTERNAL SOUTH WALL
69. PROVIDE 450 LAUNDRY SINK TO GRANNY FLAT LAUNDRY, INCREASING HALLWAY TO BATHROOM TO A METER
70. PROVIDE 820MM HINGE DOOR TO GRANNY FLAT BATHROOM
71. RELOCATE WATER TANK TO THE EXTERNAL WALL OF GRANNY FLAT KITCHEN
72. PROVIDE DEDICATED LED LIGHTING TO ALL ROOMS TO PRIMARY DWELLING (23 IN TOTAL)
73. PROVIDE DEDICATED LED LIGHTING TO ALL ROOMS TO SECONDARY DWELLING (7 IN TOTAL)
74. OWNER TO ENSURE LED LIGHTING INSTALLED
75. PROVIDE ONE CEILING FAN/LIGHT IN LIVING ROOM (BAYSIDE SOMERSET) TO THE SECONDARY DWELLING
76. NOTE: FURTHER TO VARIATION NO.19 – CEILING FAN IN FAMILY ROOM TO THE PRIMARY DWELLING MUST STAY AS PER BASIX
77. PROVIDE 'P/H1' SITE CLASSIFICATION IN LIEU OF PREVIOUSLY QUOTED 'M' AS PER GEOTECHNICAL REPORT.
78. DELETE STORMWATER DRAINAGE CONNECTION FROM BUILDING SITE COSTS
79. PROVIDE STORMWATER DRAINAGE CONNECTION IN ACCORDANCE WITH STORMWATER MANAGEMENT PLAN PREPARED BY RESIDENTIAL – DETAIL DATED 24.06.2026.
80. DELETE STATUTORY REQUIREMENTS No.8 (STORMWATER MANAGEMENT PLAN)
81. PROVIDE A STORMWATER MANAGEMENT PLAN.



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